



Applying For New or Revised Electric Service

Dear Customer:

ComEd is happy to assist you in initiating new or revised electric service to your location.

Please complete, sign and return the attached service and meter application to your ComEd representative – you may wish to have your electrical contractor assist you in completing it. Please call 1-866-NEW ELEC (1-866-639-3532) to have a ComEd representative assigned to your project. Please have the zip code of your project site ready.

This new service application form is an important first step in initiating electric service. ComEd depends upon the information contained in it to schedule site visits, design your electric delivery service, prepare contracts, schedule construction work and set up your electric account.

Additionally, ComEd may need to secure permits from local municipalities to perform required work, so be sure to accurately complete and promptly return your service application. Please also be aware that it is the customer's responsibility to coordinate work with other involved utilities. Again, you may wish to consult your electrical contractor for assistance in this area.

After your electric service application is received, your ComEd representative will review it. You or your electrical contractor may be contacted for further information or clarification. In addition, site visits by ComEd personnel may be required. Upon the completion of all required information, ComEd will send you contracts and sketches, along with charges if applicable. You must review, sign and return these documents.

Again, the prompt return of these signed documents authorizing ComEd to begin new service installation work is very, very important.

Upon receipt of these signed contracts and sketches, ComEd will finalize a date when crews can begin work on your project. Typically, we will be able to schedule the appropriate resources to begin your project a minimum of six weeks from the time we receive your signed sketches. Please note, that if ComEd crews are required to work outside of normal weekday working hours, overtime labor charges will apply.

Lastly, please keep in mind the following important information regarding your new electric service:

- Some municipalities may require separate Fire Pump and Emergency services. Please remember to include these services on your new service application.
- You may be required to provide easements and space on your property, or inside your building for ComEd equipment.
- Like any other business, ComEd is obligated to obtain all necessary permits before beginning work. Promptly returning accurate and complete documents can help expedite this process.

Please be aware that all customers now have a choice of electric suppliers, electric rates, metering option, etc. For more information, visit our Web site at www.exeloncorp.com or call our Business Solutions Center at 1-877-4-ComEd-1 (1-877-426-6331).

We look forward to working with you.



Work Scheduling Information

Dear Customer:

ComEd would like to inform you about its work scheduling process for all "new business" and construction-related activities.

This process helps ComEd efficiently allocate its resources and maintain scheduling control and flexibility.

A key element of this process is uninhibited, continuous communication between the customer and the ComEd engineer assigned to the project.

To help ensure the timely completion of new projects, ComEd has identified the following sequence of events -- each one of which must take place:

1. **New Service Application:** wherein customer completes, signs and submits new service application and related documentation.
2. **New Service Application Review:** wherein ComEd reviews completed new service application and, based on submitted information, sends customer all necessary contracts and sketches, along with an itemized list of charges (if applicable) to begin electric service at the customer's location.
3. **New Service Authorization:** wherein the customer reviews, signs and returns contracts, sketches and cost estimates to ComEd authorizing work to begin.
4. **Service Date Determination:** wherein an "in service" date is negotiated between the customer and ComEd; a day that in turn generates a "start work date," which commits ComEd to begin working on the project.
5. **Service Date Confirmation:** wherein four weeks prior to the "start work date," the ComEd project engineer will contact the customer to check on the project's progress and validate the proposed "start work" and "in service" dates. If the customer's project is not progressing as planned and the "in service" date needs to be rescheduled, the "start work" date will be adjusted accordingly. All work rescheduling will be subject to ComEd's workload and resource availability. If the customer's project is progressing as expected and the "in service" date is still valid, the "start work" date will be "locked in" to ComEd's construction schedule and resources will be allotted to the customer's project.
6. **Final Site Inspection:** wherein two weeks prior to the "start work" date, all conduits and pads that are to be provided by the customer must be ready for inspection and approval by ComEd personnel to allow ample time for modification or correction, if necessary. If conduits and pads are not ready for inspection, ComEd may reschedule the planned "start work" and "in service" dates. Please note, unanticipated events such as severe weather or other emergencies may delay the start of planned "work start" or "in service" dates. ComEd makes every attempt to notify its customers as soon as it becomes aware of these situations.



Service and Meter Application Project Information Sheet

Confirmed arrangements
11-21-16

ComEd Rep:
John Baker: 847-816-5579

Project Name: **Commercial Development**

Site Address: 112 S Northwest Highway City: Park Ridge, Illinois Zip: 60068

Total Number of Service Entrance Locations (meters/switches) Requested: **5**
1 – 100amp (H), 3 – 200AMP (A, B, C) ; 1-100amp (temporary) 120/208 3P

Legal Name of Entity (Electric Consumer): **GW Park Ridge LLC**

Corporation Partnership Sole Proprietor Other: LLC

Tax I.D.: 81-1451277

Existing Account Number:

Temp account: 2145165119
Building Account: 2375070010

Principle(s) to Sign Contracts For Service, Easements, Etc.:

Property Owner: GW Park Ridge LLC Phone: 773-382-0592

Building Owner: GW Park Ridge LLC Phone: 773-382-0592

Building Manager: Mitch Goltz Phone: 773-382-0590

Mailing Address For Contracts:

Company: GW Park Ridge LLC Phone: 773-382-0592 Fax: 773-796-3037
Address: 2211 N Elston Avenue Suite 304 City: Chicago Zip: 60614

Mailing Address For Electric Bills:

Company: GW Park Ridge LLC Phone: 773-382-0592 Fax: 773-796-3037
Address: 2211 N Elston Avenue Suite 304 City: Chicago Zip: 60614

Project Contacts:

Consulting Engineer: John Friedberg E-mail: John@fjdevelopment.com
Firm Name: FJ Development Corp of IL Phone: 847-679-4300 Fax: 847-677-3142
Address: 9002 N Kedvale Ave City: Skokie, Illinois Zip: 60076

Electrical Contractor:

Consulting Engineer: Melvin Walls E-mail: melvin@nwmechanicalconstruction.com
Firm Name: Northwest Mechanical Phone: 773-609-9000 Fax:
Address: 4957 N. Kilpatrick Ave City: Chicago, Illinois Zip: 60630

Other:

Consulting Engineer: E-mail:
Firm Name: Phone: Fax:
Address: City: Zip:

The Following Documents May Be Required:

1. Plat of Survey with legal description of property (for easement, if required)
2. Site Plan showing building relative to property lines – mark service entrance location(s)
3. Civil drawings (showing water, sewer, gas, phone, electric, pavement, grading, etc.)
4. Complete electrical drawings and/or load detail sheets

Information Provided By:

Print Name: John Friedberg

Signature:

Date: November 4, 2016



Metering Equipment Information

Dear Customer:

To ensure that your location's electric meter equipment can be installed in a correct and timely manner, please have your electrician complete the attached Meter Checklist and return it to your ComEd representative.

For additional metering information, visit our Web site at www.exeloncorp.com/comed/overview/eci_overview.shtml and click on "Information and Requirements For The Supply of Electric Service."

Please be aware that ComEd's System Meter Department must approve the installation of main electrical panels rated 1,200 amps or greater or any switchboard with an un-metered switch. To obtain this approval, four copies of a one-line diagram for the meter-current transformer cabinet and disconnect switch sequence must be submitted to ComEd's System Meter Department at 1919 Swift Drive, Oak Brook, IL 60521.

Please be sure to include the electrical panel's manufacturer and model number. These diagrams may be found in your project's electrical plans or in the manufacturer's specifications for the panel. Talk to your electrical contractor if you need assistance acquiring these documents, and be sure to allow ComEd ample time to receive and review these items. All plans must be approved before service can be livened.

If you have any questions, please contact your ComEd representative.



Metering Checklist

The following items **MUST** be **COMPLETE** before any meters can be set. (Check all that apply)

- General Requirements:** If applicable a permit must be obtained prior to ComEd notification and/or approval.
 - All fittings must have a CECHA stamp to receive ComEd approval. Fittings must be located in a ComEd approved location.
 - All meter sockets must be clearly identified with unit number, fire pump, building meter, etc. on the fitting.
 - All units must be clearly identified, using the final unit number, designation and/or address on the unit's breaker panel.
 - All load wires must be landed and terminated between the meter socket and unit panels.
- All new and existing services must have required grounds.
- Single-phase Metering:**
 - A fifth jaw is required at the nine o'clock position of the socket for "WYE" (120/208v) services. If there is no bypass handle provided on the socket, jumping studs/horns are required on the line and load connectors of the meter fitting. Meter fitting(s) must be at proper height. Service attachment (Iplate) must be installed in proper location and must be within minimum and maximum height clearances.

Trees on private property must be trimmed and/or removed as needed by the customer to allow service drop installation.

Three-phase Self-contained Metering:

- All three-phase, 120/240V, four-wire self-contained meter installations (200 Amps. or less), the high phase must be attached on the right side of the fitting and clearly identified within the meter fitting and at the weatherhead.
- All phases and the neutral must be clearly identified.
- An integrated bypass lever is required for all three-phase, self-contained meter fittings.

Three-phase Transformer Rated Metering:

- High phase must be in the center position in all current-transformer cabinet installations.
- Please make sure the switchgear size, estimated demand load and voltages have been provided to the Project Engineer. Also, an approved wiring harness must be provided in all current-transformer cabinet installations (per ComEd requirements) when the meter fitting is on the CT cabinet door.

NOTE: When all applicable items are checked off, sign, date and return this form to your ComEd representative. If applicable, a city/village inspection is required in addition to the above ComEd requirements.

I hereby certify that all requirements set forth above for metering installation are complete:

Customer/Contractor Signature: 

Phone: 847-679-4300 ext. 120

Building/Project Address: 112 S. Northwest Highway, Park Ridge, Illinois 60068

Date: 11-04-16

COMMERCIAL DEVELOPMENT

112 S. NORTHWEST HIGHWAY

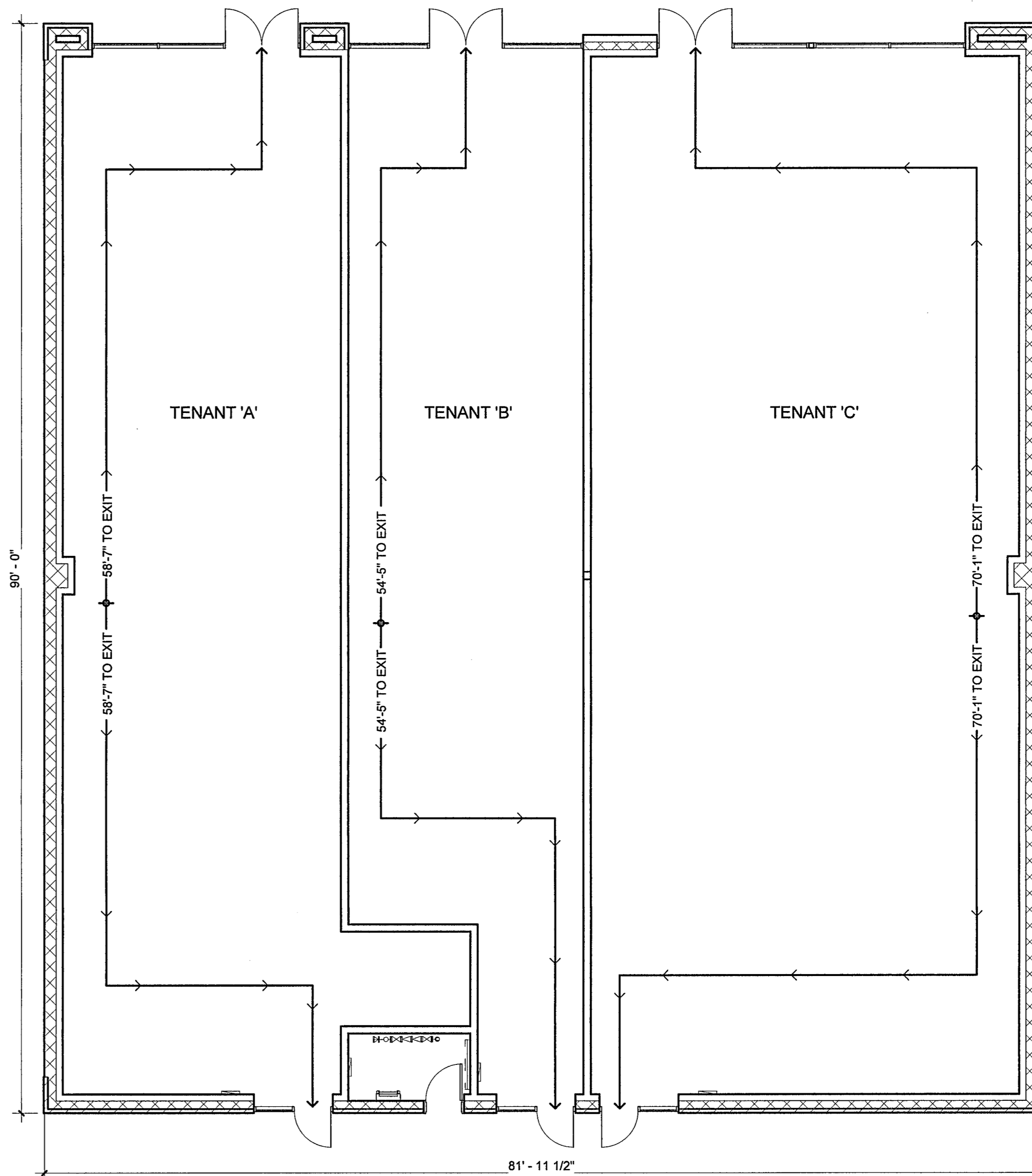
PARK RIDGE, ILLINOIS

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APPLICABLE BUILDING CODES	
-International Building Code 2015	
-International Energy Conservation Code 2015	
-National Electric Code 2014	
-International Mechanical Code 2015	
-State of Illinois Plumbing Code	
-International Fire Code 2015	
-Metropolitan Water Reclamation District, Cook County, State of Illinois and all of the United States of America Federal agency requirements.	

SITE DATA	
LOT AREA:	12,384 s.f.
BUILDING AREA	7,272 s.f.
IMPERVIOUS COVERAGE	11,993 s.f. (96.8%)
PARKING	9 SPACES (INCLUDING 1 H.C.)

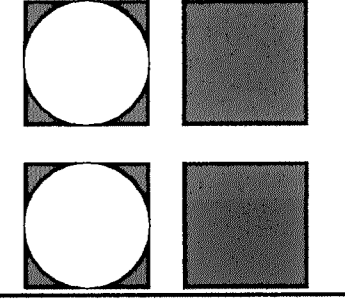
PROJECT DATA	
TYPE OF CONSTRUCTION:	III-B
TOTAL BUILDING AREA	7,272 Sq. Ft.
TENANT DATA:	
-TENANT A	
AREA:	2,295 sf
OCCUPANCY:	B-BUSINESS
OCCUPANCY LOAD:	1/100sf (gross)
	22 People
-TENANT B	
AREA:	1,604 sf
OCCUPANCY:	B-BUSINESS
OCCUPANCY LOAD:	1/100sf (gross)
	16 People
-TENANT C	
AREA:	3,302 sf
OCCUPANCY:	M-MERCANTILE
OCCUPANCY LOAD:	1/60sf (gross)
	55 People



1. EGRESS PLAN
1/8" = 1'-0"

2015 IECC COMPLIANCE	
1. OCCUPANCY SENSORS IN PUBLIC ACCESS CORRIDORS SHALL BE REQUIRED ON FULL AUTOMATIC-ON CONTROLS PER IECC C405.2.2 EXCEPTON	
2. R-VALUES FOR EXTERIOR WALLS:	
EXTERIOR WALLS	
WALL TYPE 1	
OUTSIDE AIR FILM:	0.17
LONGBOARD SIDING:	0.0
AIR SPACE:	1.0
8" CMU:	1.45
6" STUDS W/ R-19 BATT:	19.0
INSIDE AIR FILM:	0.68
TOTAL ASSEMBLY R-VALUE:	22.3
WALL TYPE 2	
OUTSIDE AIR FILM:	0.17
EIFS:	4.5
AIR SPACE:	1.0
8" CMU:	1.45
6" STUDS W/ R-19 BATT:	19.0
INSIDE AIR FILM:	0.68
TOTAL ASSEMBLY R-VALUE:	26.8
WALL TYPE 3	
OUTSIDE AIR FILM:	0.17
12" CMU:	1.65
6" STUDS W/ R-19 BATT:	19.0
INSIDE AIR FILM:	0.68
TOTAL ASSEMBLY R-VALUE:	21.5
WALL TYPE 4	
OUTSIDE AIR FILM:	0.17
4" FACE BRICK:	0.44
1" AIR SPACE:	1.0
8" CMU:	1.45
6" STUDS W/ R-19 BATT:	19.0
INSIDE AIR FILM:	0.68
TOTAL ASSEMBLY R-VALUE:	22.74
ROOF	
4.25" THICK POLYISOCYANURATE INSULATION R-VALUE:	32
ROOF INSULATION AT LOWEST POINT (ROOF DRAINS) MEETS OR EXCEEDS R-30 PER IECC TABLE C402.2	
FOUNDATION	
2" THICK EXTRUDED POLYSTYRENE INSULATION R-VALUE:	10.0
3. U-FACTOR FOR ALL FENESTRATION AND GLAZED OPENINGS:	
ENTRY DOORS MAX U-FACTOR: 0.77;	
-ACTUAL U-FACTOR: 0.67	
GLAZED FIXED WINDOWS MAX U FACTOR: 0.38;	
-ACTUAL U-FACTOR: 0.33	
4. VESTIBULES FOR ALL NEW TENANT ENTRANCES SHALL BE PROVIDED UNDER FUTURE TENANT PERMITS AND SHALL COMPLY WITH 2015 IECC C402.4.7	

ABBREVIATIONS		ABBREVIATIONS		ABBREVIATIONS	
A		FIN	FINISH	R	RADIUS
ACT	ACOUSTICAL CEILING TILE	FLR	FLOOR	RB	RUBBER WALLBASE
AD	AREA DRAIN	FND	FOUNDATION	RBR	RUBBER
AFF	ABOVE FINISHED FLOOR	FO	FACE OF	RCP	REFLECTED CEILING PLAN
ALUM	ALUMINUM	FTG	FOOTING	RD	ROOF DRAIN
ANOD	ANODIZED	G		REIN	REINFORCED
APPROX	APPROXIMATE	GA	GAUGE	REQD	REQUIRED
B		GALV	GALVANIZED	RM	RECESSED MAT
BSMT	BASEMENT	GBD	GYPSUM BOARD	S	
BTM/	BOTTOM OF	GWB	GYPSUM WALL BOARD	SF	SQUARE FOOT
C		H		SIM	SIMILIAR
C/C	CENTER TO CENTER	HC	HOLLOW CORE	SOG	SLAB ON GRADE
CIP	CAST IN PLACE	HM	HOLLOW METAL	SPEC	SPECIFIED OR SPECIFICATION
CJ	CONTROL JOINT	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	SPK	SPRINKLER
CLG	CEILING	I		SQ	SQUARE
CLR	CLEAR	INSUL	INSULATION / INSULATED	SSTL	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	STC	SOUND TRANSMISSION COEFFICIENT
CO	CLEAN OUT	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD	STL	STEEL
COL	COLUMN	L		STRUCT	STRUCTURAL
CONC	CONCRETE	LAV	LAVATORY	T	
CONST JT	CONSTRUCTION JOINT	M		T&G	TONGUE & GROOVE
CONT	CONTINUOUS	MATL	MATERIAL	T/	TOP OF
CPT	CARPET	MAX	MAXIMUM	T/D	TELEPHONE/DATA
CS	SEALED CONCRETE	MECH	MECHANICAL	TELE	TELEPHONE
CT	CERAMIC TILE	MFR	MANUFACTURER	TLT	TOILET
D		MIN	MINIMUM	TOC	TOP OF CONCRETE
DBL	DOUBLE	MO	MASONRY OPENING	TOS	TOP OF STEEL / STRUCTURE
DEMO	DEMOLISH	MRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD	TOW	TOP OF WALL
DIA	DIAMETER	MTD	MOUNTED	TYP	TYPICAL
DIMS	DIMENSIONS	MTL	METAL	U	
DN	DOWN	N		UNO	UNLESS NOTED OTHERWISE
DTL	DETAIL	NIC	NOT IN CONTRACT	V	
DWG	DRAWING	NO	NUMBER	VP	VISION PANEL
E		NOM	NOMINAL	W	
EA	EACH	O		W/	WITH
EJ	EXPANSION JOINT	OC	ON CENTER	WD	WOOD
EL	ELEVATION	OH	OPPOSITE HAND	WWF	WELDED WIRE FABRIC
ELEC	ELECTRICAL	OZ	OUNCE		
ELEV	ELEVATOR / ELEVATION	P			
EPDM	ETHYLENE PROPYLENE DIENE ROOFING	PCC	PRE-CAST CONCRETE		
EQ	EQUAL	PLUMB	PLUMBING		
EXIST	EXISTING	PNT	PAINT/PAINTED		
EXT	EXTERIOR	PSI	POUNDS PER SQUARE INCH		
F		PT	PAINT		
FD	FLOOR DRAIN	PVC	POLYVINYL CHLORIDE		
FE	FIRE EXTINGUISHER	R			
FEC	FIRE EXTINGUISHER CABINET				
FFE	FINISHED FLOOR ELEVATION				



COVER SHEET

COMMERCIAL DEVELOPMENT
112 S NORTHWEST HIGHWAY
PARK RIDGE, ILLINOIS

DESIGN STUDIO 24, LLC.
ARCHITECTS - PLANNERS
2211 N. Elston Ave., Unit 304, Chicago, IL 60614
Tel: 847.885.7751 Fax: 847.885.8300

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CAUTION: Contractor to verify all existing conditions, dimensions, etc. BEFORE any bid and construction. Contractor to notify owner and architect of any discrepancies. No plea of ignorance to existing conditions found to be different from drawings will be accepted.

CAUTION: This drawing may have been reproduced at a size different than originally drawn. The owner and architect assume no responsibility for the use of incorrect scale. Drawings are NOT to be scaled. Not published. All rights reserved. Notly created of any discrepancies.

STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Codes and Ordinances of Park Ridge, Illinois.

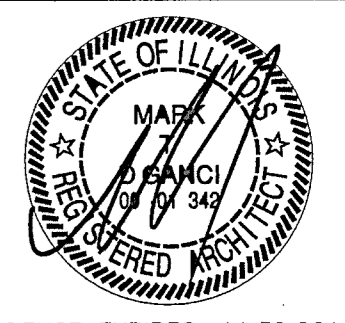
STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (8th Rev Stat 1385, ch 113 1/2, para 3711 of sec 01 amended) and the Illinois Accessibility Code, 71 ILCS, Code 400.

DATE	04.04.2016
REVISIONS	
04.04.2016	ISSUE FOR PERMIT
07.19.2016	REVISION 1
08.18.2016	REVISION 2

SCALE

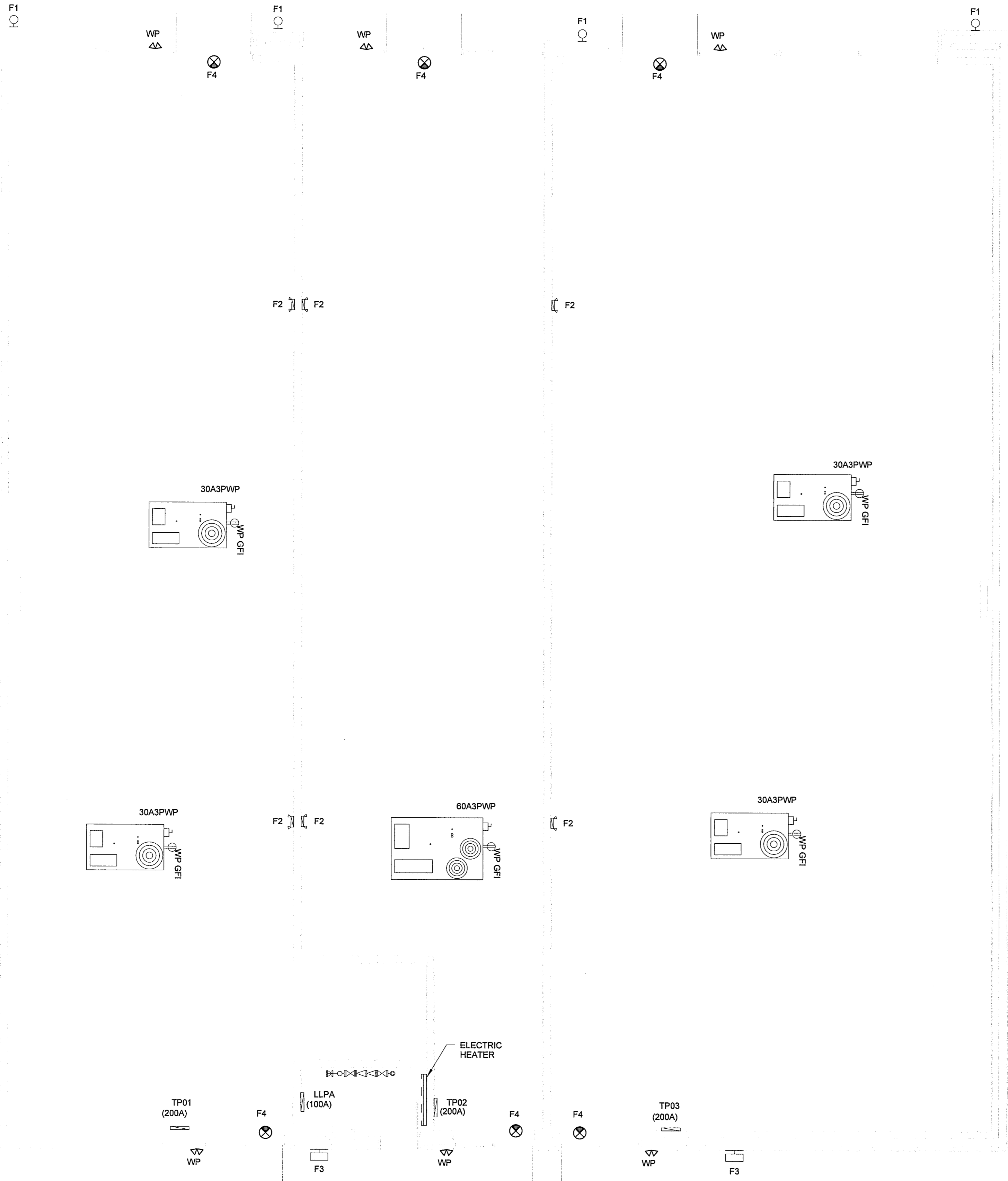
DRAWN BY: Neal A. Vander Wilt

MARK T. DiGANCI
REG. ARCHITECT



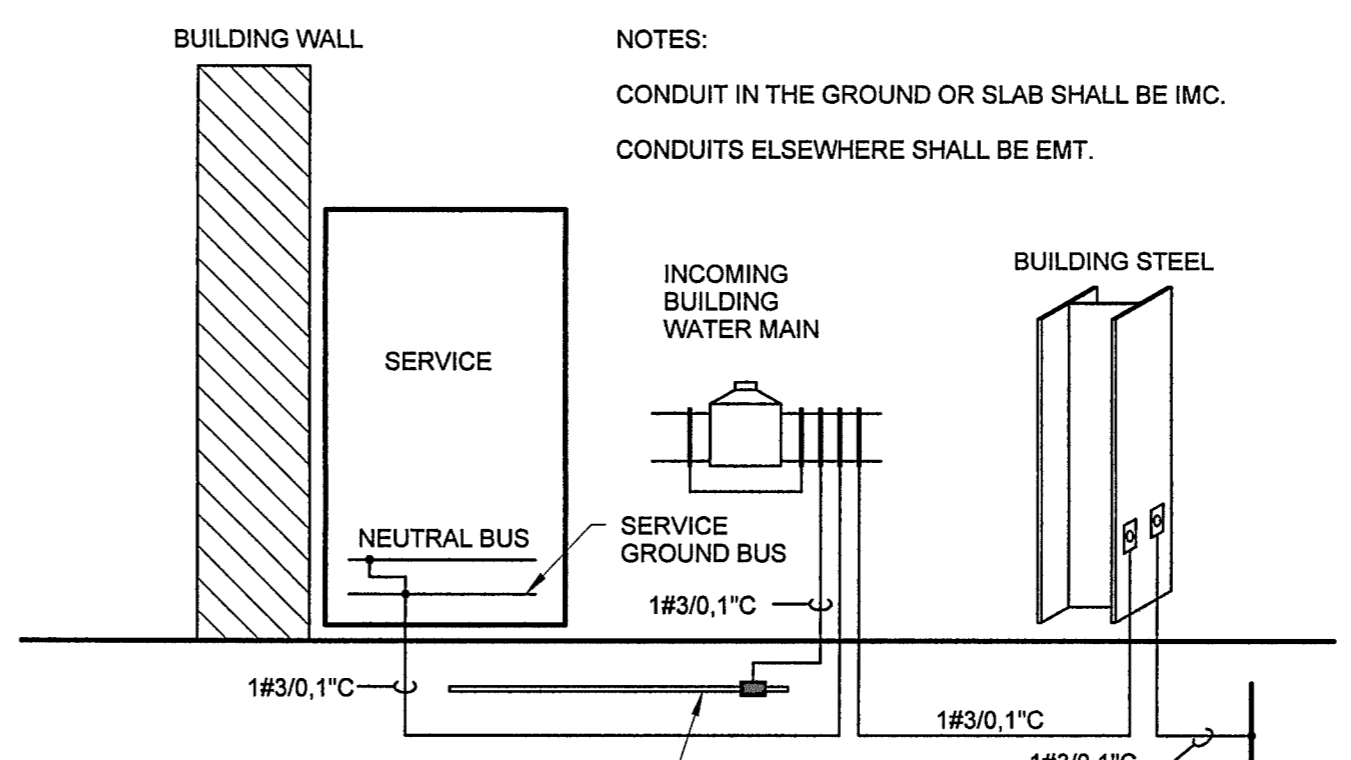
LICENSE EXPIRES: 11.30.2016

A0



1 ELECTRICAL PLAN
3/16" = 1'-0"

NOTE: ALL ELECTRICAL WORK SHALL BE SUBJECT TO FIELD INSPECTION



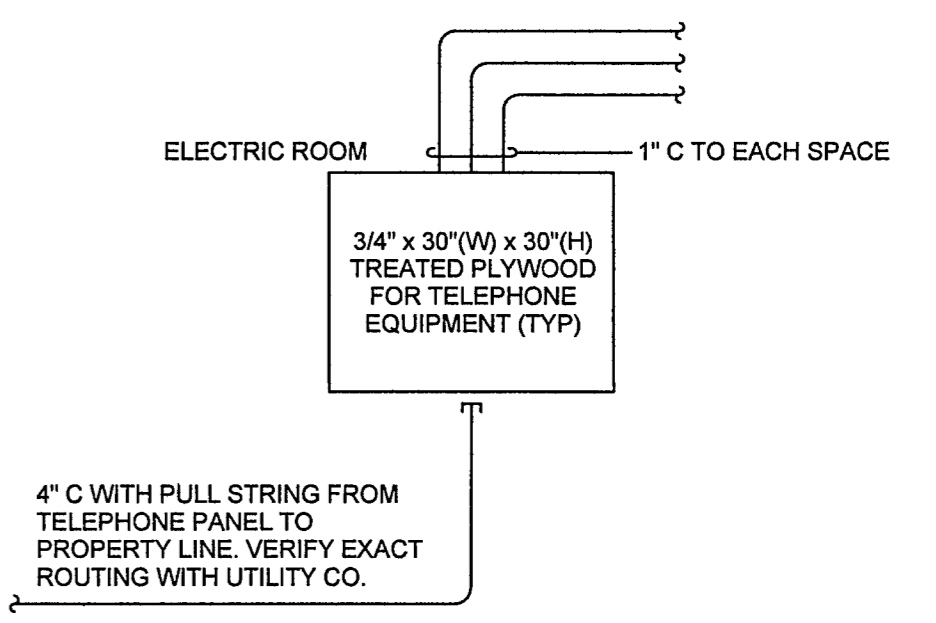
CONCRETE ENCASED ELECTRODE, #4 AWG OR LARGER BARE COPPER CONDUCTOR OR STEEL REINFORCING BAR OR ROD NOT LESS THAN 1/2" DIA. AT LEAST 20'-0" LONG

3/4" x 8'-0" COPPER GROUND ROD (IF MORE THAN (1) REQUIRED - SPACE A MINIMUM OF 6'-0" APART)

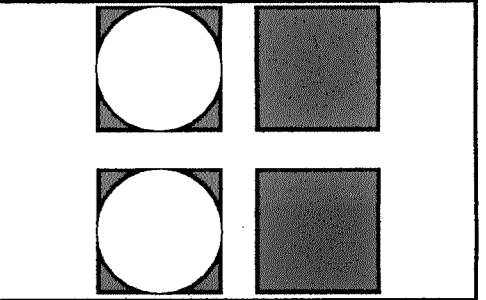
MAIN SERVICE GROUNDING DETAIL
NOT TO SCALE

PANEL SCHEDULE										LLPA	
LOAD	VA	P	A	CCT		A	P	VA	LOAD		
FIRE ALARM PANEL	200	1	20	1	2	20	1	180	TEL/DATA		
WALL HEATER	3000	2		3	4	20	1	420	BLDG SCNCES		
WALL HEATER	-		20	5	6	20	1	500	MARQUIS		
PANEL	180	1	20	7	8	20	1	-	SPARE		
SPARE	-	1	20	9	10	20	1	-	SPARE		
SPARE	-	1	20	11	12	20	1	-	SPARE		
SPARE	-	1	20	13	14	20	1	-	SPARE		
SPARE	-	1	20	15	16	20	1	-	SPARE		
SPARE	-	1	20	17	18	20	1	-	SPARE		
SPARE	-	1	20	19	20	20	1	-	SPARE		
SPARE	-	1	20	21	22	20	1	-	SPARE		
SPARE	-	1	20	23	24	20	1	-	SPARE		
TOTAL LOAD: 4,480 VA											
SERVICE: 120/208 V 3PH 4W										MAINS: 100A M/B	

NOTES:
CONDUIT IN THE GROUND OR SLAB SHALL BE IMC.
CONDUITS ELSEWHERE SHALL BE EMT.



TELEPHONE SERVICE RISER
NOT TO SCALE



ELECTRICAL PLAN
COMMERCIAL DEVELOPMENT
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STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Codes and Ordinances of Cook County, Illinois.

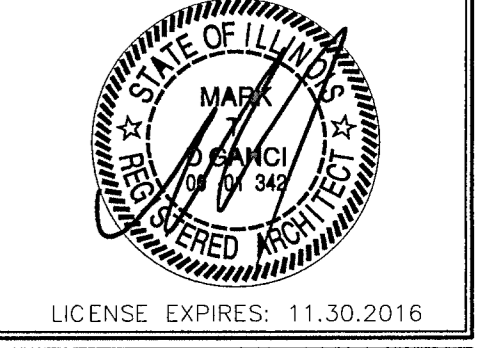
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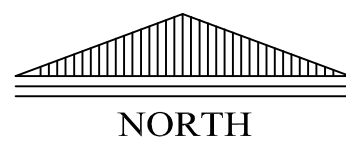
SCALE

DRAWN BY: Neal A. Vander Wilt

MARK T. DiGANCI
REG. ARCHITECT



E1.1



THE EAST 25 FEET OF LOT 3, ALL OF LOT 4 AND LOT 5 (EXCEPT THE EAST 42 1/2 FEET THEREOF) IN BLOCK 2 IN OUTHLET'S SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 112 S. NORTHWEST HWY., PARK RIDGE, ILLINOIS 60068
P.I.N. 09-35-207-019-0000

TOTAL LAND AREA = 12,384 sq. ft.
BUILDING FOOTPRINT = 6,793 sq. ft.

- LEGEND:**
- SANITARY LINE
 - STORM LINE
 - W WATER LINE
 - GAS LINE
 - BRICK PAVEMENT
 - CONCRETE PAVEMENT
 - B/C BACK OF CURB
 - R.O.W. RIGHT OF WAY
 - CHAIN LINK FENCE
 - IRON FENCE
 - WOOD FENCE
 - UP UTILITY POLE W/ WIRES
 - WALL LIGHT
 - ELECTRIC PAINT MARK (RED)
 - WATER PAINT MARK (BLUE)
 - GAS PAINT MARK (YELLOW)
 - COMM. PAINT MARK (ORANGE)
 - CONCRETE PARKING BUMPER
 - WALL LIGHT/SPOT LIGHT
 - STREET SIGN
 - P.O.B. POINT OF BEGINNING
 - FLR. EL. FLOOR ELEVATION
 - SCV SPRINKLER CONTROL VALVE
 - B/L BIKE LANE
 - UNIDENTIFIED MANHOLE
 - SEWER MANHOLE
 - CATCH BASIN
 - WATER MANHOLE
 - COMM. MANHOLE
 - ELECTRIC MANHOLE
 - GAS VALVE
 - WATER VALVE
 - FIRE HYDRANT
 - INLET
 - COMM. COMMUNICATION (TELEPHONE, INTERNET, ETC.)
 - A/C AIR CONDITIONING UNIT
 - TOP OF FOUNDATION
 - EVERGREEN TREE w/DIAMETER
 - STREET LIGHT
 - HANDICAPPED SPACE
 - TRAFFIC LIGHT
 - GREASE TRAP
 - CONTROL VALVE
 - M/G METAL GUARD

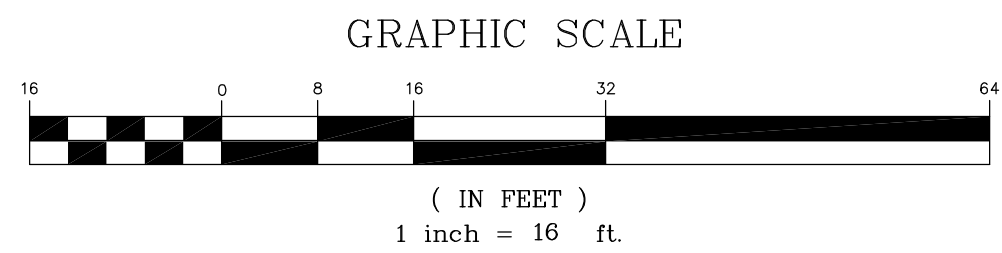
ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

Order No. 85828

Scale: 1 inch = 16 FEET

Field Completion Date: 25 NOVEMBER 2015

Ordered by: GW PROPERTIES



BENCHMARK:
GPS ON KARA SYSTEM

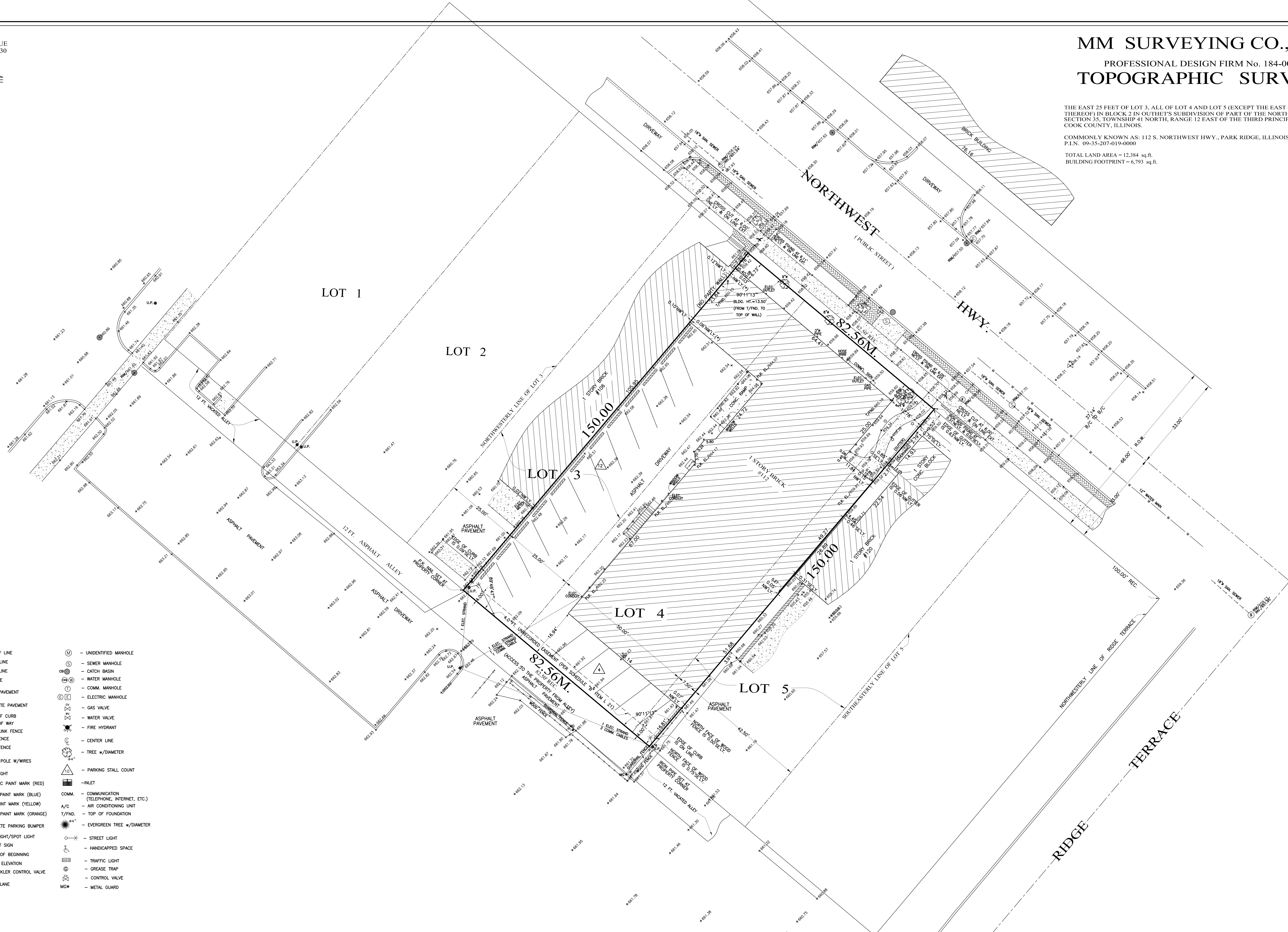
State of Illinois ss
County of Cook ss

We, M M Surveying Co., Inc., do hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.

Signature: _____

Date: _____

REG. ILL. Land Surveyor No. 35-3758
LIC. EXP. NOVEMBER 30, 2016



FOUNDATION ONLY PERMIT

**Permit to pour footings, foundation walls, install drain tile/damproofing and backfill only
A Spotted Plat of Survey is required prior to any further construction. Footings,
foundation walls, drain tile/damproofing requires pre-pour inspections.**

PERMIT NUMBER: B16-0671
ADDRESS: 112 S. Northwest Hwy
PROJECT: New Commercial Bldg
DATE ISSUED: 10 / 5 / 16

**UPON APPROVAL OF THE SPOTTED PLAT OF
SURVEY A FULL BUILDING PERMIT WILL BE
ISSUED.**

A spotted plat of survey shall include the top of foundation elevation(s), and the foundation location with distances measured from all corners to all the adjacent property lines.

Construction hours are M-F 7am-7pm, Saturday 8am-5pm, No construction on Sunday
Obey OSHA safety regulations and respect the neighbors' property.
CALL 24-48 HOURS IN ADVANCE FOR INSPECTIONS AT 847-318-5291
EMERGENCY 911 J.U.L.I.E-800-892-0123 Com Ed-800-344-7661 Nicor Gas- 888-642-6748
CITY OF PARK RIDGE, 505 Butler Place, Park Ridge Illinois 60068

CITY OF PARK RIDGE
CASH/CHECK/CREDIT

OCT - 5 2016

PAID

Permit No.: B1600671 Commercial Date Applied: 04/13/2016
Type of Permit: CON Commercial New Date Issued: 10/05/2016
Job Address: 112 S NORTHWEST HWY PARK Parcel No.: 09-35-207-019-0000
Valuation: 598,000.00
Applicant's Name: GW PROPERTIES PRK RIDGE LLC
Owner's Name: GW PROPERTIES PRK RIDGE LLC Owner's Address: 2211 N. ELSTON
City, State, Zip: CHICAGO, IL60614

Contractor: Ph:Ph2:Fax:
Architect:
Total Sq. Ft.: 7272 Valuation: 598,000.00 Constr. Type:
No. Stories: 0 No. of Units: 1 Occupancy:
Zoning: Subdivision: Lot No.:
Work Description: New single story building type II masonry and Block No:
Total Permit Fees: \$9,923.04

HOMEOWNER/CONTRACTOR PERMIT AGREEMENT/CONTRACT

- 1) The general contractor and/or homeowner shall be responsible for the actions of all subcontractors and trades persons.
- 2) This permit shall expire if work does not commence within 180 days of the issuance of this permit and if work is not completed within 12 months for residential buildings or 18 months for commercial and multi-family buildings of the date of issuance.
- 3) All inspections shall be scheduled at least 24 hours in advance. Inspections are taken on a first come-first serve basis. The City cannot guarantee inspections within 24/48 hours. Approved plans must be on site at the time of the inspection.
- 4) All work shall comply with the approved plans. Any variations from the plans must be approved in writing by the building official prior to making the changes.
- 5) All new buildings/additions that are roofed require a spot survey. ALL WORK MUST STOP UNTIL TWO (2) COPIES OF A NEW PLAT OF SURVEY HAVE BEEN SUBMITTED AND APPROVED BY ZONING PRIOR TO ANY OTHER CONSTRUCTION.
- 6) The sides of all excavations must be tapered, tarped, and shored as needed to stabilize the sides of the excavation.
- 7) FENCING and metal posts shall be installed around the perimeter of the construction site and around all trees located on the subject property. Trees and or parkways shall be protected by 4' snow fencing.
- 8) Construction hours are 7 am - 7 pm Monday - Friday / 8 am - 5 pm Saturdays, and prohibited on Sundays and Holidays.
- 9) A DUMPSTER shall be placed on site and not allowed to overflow with debris.
- 10) CHEMICAL TOILETS shall be provided and maintained when no functioning toilet is available.
- 11) The issuance of this permit is for work at the address listed above only. The contractor may not enter upon or trespass on any neighboring property. The general contractor is responsible for correcting any damage to neighboring property including that caused by any subcontractors.
- 11) The City is not responsible for damages and will not repair/replace any brick-pavers, sprinklers, etc., in the parkway ROW, at a later date when a utility needs repair. Construction damage to City property shall be repaired by the applicant.
- 12) A FINAL INSPECTION is required for everything. A Certificate of Occupancy is issued only upon a satisfactory final inspection.

I hereby certify that I have read this application, the permit conditions as outlined in the above agreement, and agree to comply with all city, county, state, and federal ordinances and codes relating to building construction. I further certify that all information submitted in the process of obtaining this permit is true and correct. I also agree, that if there are any changes related, but not limited to, the construction documents, contractors, materials, or design, I will notify the Building Official in writing prior to making such changes. I will be responsible for full code compliance. I hereby authorize representatives of the City to enter upon the above mentioned property for inspection purposes at any reasonable time as outlined in the city code.

Signature of Applicant or Agent: _____ Date: _____

Please print name clearly: _____

RECEIPT OF PAYMENT

REPRINT NUMBER:

RECEIPT NUMBER: R15004004

PERMIT NUMBER: B1600671 TYPE: New single story building type II masonry and steel retail building, no basement

SITE ADDRESS: 112 S NORTHWEST HWY PARK

PARCEL: 09-35-207-019-0000

BUILDING PERMIT FEE: \$9,923.04
 SUPPLEMENTAL FEES: \$0.00
 ADDITIONAL FEES: \$0.00

TRANSACTION DATE: 10-05-2016
 TRANSACTION LIST:

GRAND TOTAL FEES: \$9,923.04

Type	Method	Description	Amount
Payment	Cash		9,923.04

ACCOUNT ITEM LIST:

Item#	Description	Account Code	Tot Fee	Paid	Prv. Pmts	Cur. Pmts
100	PLAN -RE-REVIEW	0	5,529.44	5,529.44	.00	5,529.44
200	Struct/Plbg./El	0	738.60	738.60	.00	738.60
500	CP & D FEE	0	105.00	105.00	.00	105.00
600	Misc Fees(HVAC,	0	1,000.00	1,000.00	.00	1,000.00
800	ROW FEE	0	2,550.00	2,550.00	.00	2,550.00

BUILDING PERMIT FEE DETAIL

SUPPLEMENTAL FEE DETAIL

HVAC	HVAC Ductwork	\$0.00
	Plumbing	\$0.00
	Electrical	\$738.60
	A/C	\$500.00
	Heating	\$0.00
	Miscellaneous	\$0.00
	Building	\$4,784.00
	Cert. of Occ.	\$75.00
	Driveway & Pking Lot	\$0.00
	Grading	\$0.00
SIGN FEE	Gas Fired Unit	\$500.00
	Fence	\$0.00
	Illum Sign	\$0.00
	Non-Illum Sign	\$0.00
ZONING	Temp Sign	\$0.00
	Demo Sign & Fee	\$0.00
	Zoning Cert.	\$30.00
PLAN REVIEW	Engineering	\$2,550.00
	Building	\$745.44
	Forestry	\$0.00
Total Bldg Perm Fees		\$9,923.04

Hyd Met Dep (WDEP)	\$0.00
Water Met Fee (WMTR)	\$300.00
Comp Met Fee (WMTR)	\$0.00
Adv Water Fee (WMTR)	\$50.00
Pk Tree/New (EBTREE)	\$0.00
Pk Tree/Add (ETR)	\$0.00
Prv Prop Tree (EDEP)	\$0.00
Tree Bank (ETBANK)	\$0.00
Misc Tree Fee (TP)	\$0.00
Drainage (EDEP)	\$0.00
Tree Health Care(THC)	\$0.00
Total Suppl Fees	\$0.00
ADDITIONAL FEES	\$0.00
Grand Total Fees	\$9,923.04

ISSUED BY: MGOLDEN

Time: 10:45 AM

DATE: 10/05/2016



CITY OF PARK RIDGE

505 BUTLER PLACE
PARK RIDGE, IL 60068
TEL: 847/ 318-5228
FAX: 847/ 318-5562
TDD: 847/ 318-5252

URL:<http://www.parkridge.us>

Pre-Construction Meeting 10/05/2016

Subject: 112 S. Northwest Highway – Commercial Development
Required Inspections

Engineering Inspections:

1. Contact the City and the MWRD 48 hours prior to the start of any underground site utility work.
2. Notify the City and the MWRD of any changes to the approved design accordingly.
3. All erosion control measures including inlet protection to be installed prior to the start of construction at any existing open grate structures. Once the storm system is constructed the inlet protection shall be installed per detail.
4. Must follow the grading plan and finish floor and ramp elevations need to be verified so all grading from site works properly.
5. Engineering will inspect and approve all stone bases to be used on-site.
6. Call 48 hours in advance to schedule inspections with the City Engineering department for any R-O-W, sidewalks, driveway approaches and curb & gutter work. The inspector must be present for the concrete pre-pour base inspections.
7. Call 48 hours in advance to schedule inspections with the City Engineering department for any HMA paving, proof-roll inspection, and pre-pour base inspections.
8. Any existing sewer service disconnects shall be filled with 2' concrete/non-shrinkable grout and witnessed by the City. Any existing water services encountered on-site shall be disconnected at the City main.
9. Rubber boots are to be used on all pipes to structure connections.
10. Contact the City and the MWRD 48 hours prior to the installation of the Tideflex backflow preventer. *CL-10*
11. Notify engineering of any water and sewer separation conflicts. 18" vertical and 10' horizontal minimum separation per IEPA standards. Must follow plans for any required water encasement.
12. Notify engineering and the police department 48 hours in advance of any street or sidewalk closures. Must provide proper vehicle and pedestrian warning and detour signs as required.

Our Mission: THE CITY OF PARK RIDGE IS COMMITTED TO PROVIDING EXCELLENCE IN CITY SERVICES IN ORDER TO UPHOLD A HIGH QUALITY OF LIFE, SO OUR COMMUNITY REMAINS A WONDERFUL PLACE TO LIVE AND WORK.

13. Concrete street patch shall have a minimum of 4" of CA-6, 6" of P.C.C., and 2" HMA per City requirements and asphalt pavement patch legend. Contractor to install the full section.

Building Department Inspections:

1. Schedule inspections for any concrete flat work in the private property side.
2. Schedule inspections with the plumbing inspector for any water and sanitary service connections and trenches from the mains to the building.
3. Any sump pumps piping and connections.
4. Notify the building department of any street closures 48 hours in advance.

Public Works Service Center – 400 Busse Highway:

1. Contact the PW Service Center if any issue or problems arise with the water or sewer main.

Record Plan Submittal to Engineering After Construction:

1. Sewer and structure inverts and rim elevations. Including rims and inverts of existing structures where there are new connections.
2. Sewer pipe material type, diameter, and slope.
3. Tideflex backflow preventer and invert.
4. Emergency overflow elevation from parking and top of landing/access to ramp elevation.
5. Elevations along the property line. Also, asphalt pavement and concrete flatwork grading including depressed curb elevations.
6. Indicate any field changes in pipe alignment or locations of structures.
7. No final inspections reports will be released by the City or MWRD until Record Plans have been submitted, reviewed and approved by the City and MWRD.
8. Final grading inspection will be required by the Engineering Department on the entire site after all Building Complex are built.
9. Provide reports of material tester findings for soil and subgrade as-built conditions on-site.

Proof Pool SUB-GRADE



CITY OF PARK RIDGE

FIRE PREVENTION BUREAU

901 W. DEVON AVENUE
PARK RIDGE, IL 60068
FAX: 847-318-5314 TDD:847-318-5252
www.parkridgefd.org

JEFF SORENSEN
FIRE CHIEF

CITY OF PARK RIDGE
SITE COPY
FOR CONSTRUCTION
AND INSPECTION(S)

September 27, 2016

GW Prperties
2211 N Elston
Chicago, IL

Re:112 N NW Hwy Permit B1600671

SITE COPY

Dear Sirs,

The fire prevention bureau has conducted a review of the project noted above. This review has been completed in accordance with the 2015 International Fire Code, 2015 International Building code, 2015 NFPA 101 Life Safety Code, applicable standards, and local ordinances. The project is approved with the following comments.

1. Exit signs are required (LSC 7.10.1.2) (IFC 1011.1)
2. In addition to exit signs mounted at the ceiling or above the door, low-level exit signs are required. Signs shall be illuminated and installed 8 inches above the floor on the striker side of the door. (Municipal Code 7-1-2-AP)
3. Tactile signage shall be provided to meet all of the following criteria, unless otherwise provided in 7.10.1.4:
 - (1) Tactile signage shall be located at each exit door requiring an exit sign.
 - (2) Tactile signage shall read as follows: EXIT.
 - (3) Tactile signage shall comply with ICC/ANSI A117.1, American National Standard for Accessible and Usable Buildings and Facilities.
4. Exit signs shall have a back-up power system. (IFC 1011.6.3)
5. Emergency lighting is required. (IFC 1006.3)
6. Emergency lighting is required in the rest rooms. (IFC 1006.3)
7. A fire department key box is required. (IFC 506.1)
8. A 10 lbs. ABC (4-A 60-BC) fire extinguisher is required for each space. (IFC 906.1)
9. Fire Department Connections shall be in a location approved by the Fire Department. (IFC 903.3.7)
10. Use of exit doors shall not require the use of keys or special knowledge. (IFC 1008.1.9)



OUR MISSION IS TO PROVIDE THE PARK RIDGE COMMUNITY WITH THE HIGHEST LEVEL OF SERVICE POSSIBLE, TO PROTECT AGAINST AND PREVENT THE LOSS OF LIFE AND PROPERTY THROUGH THE EFFECTIVE AND EFFICIENT UTILIZATION OF AVAILABLE RESOURCES AND PERSONNEL.

11. Locks: Doors shall be readily operable from the egress side without special knowledge or tools. Key operated locks are permitted on the main exterior door under certain circumstances. Flush bolt locks are not permitted. (IFC 1008.1.9)
12. All buildings shall have approved radio coverage for emergency responders within the building based upon the existing public safety communication system. (IFC 510.1)
13. Above ground gas meters, regulator and piping subject to damage shall be protected by a barrier complying with 312 or otherwise protected in an approved manner. (IFC 603.9)
14. Provide four sets of shop drawings with specifications (cut sheets), wiring diagrams, voltage drop calculations on the NAC circuit, and battery calculations for the installation of the fire alarm system to the fire prevention bureau for review and approval. The fire prevention bureau will conduct a separate review of the fire alarm system changes. Refer to the fire department's website at www.parkridgefd.org for specific submittal requirements. (IFC 907.1.1)
15. Provide four sets of shop drawings, hydraulic calculations and specifications (cut sheets) for the installation of an automatic fire sprinkler system. The fire prevention bureau will conduct a separate review of the sprinkler system. Refer to the fire department's website at www.parkridgefd.org for specific submittal requirements. (IFC 907.1.1)
(IFC 901.2)

The review of this submittal does not relieve the contractor or building owner from building according to all code and standard requirements. Fire prevention code and standard requirements not noted on the plans, in the plan review letter, or noted during inspections are still required to be met so that the building is completed in full compliance with all codes and standards.

In the Interest of Life Safety,

Lt. Kevin Plach
Fire Marshal
City of Park Ridge
(847) 318-5286
kplach@parkridgefd.org